



APPROACHES

When a property is subdivided, any existing and/or new approaches/culverts are required to be updated and/or built to Lamont County Municipal Servicing Standards.

As well, each subdivided parcel must have its own access. One common access to serve two properties is not allowed.

Sections of the requirements for your approaches/culverts from the Servicing Standards are below.

If you have any questions, please contact Public Works at 780 895-2547.

G.16 APPROACHES

G.16.1 Approaches shall be situated such that they do not access directly onto a roadway with an estimated AADT of greater than 4000.

G.16.2 Approaches shall have a minimum clearance of 1.5 meters from any surface feature such as hydrants, power poles, and curb cocks.

G.16.3 Approaches shall not be situated on a curb return.

G.16.4 For corner lots, the approaches should access the road with a lesser traffic volume wherever possible. Wherever possible, approaches should not be located within 100 m of an intersection.

G.16.5 For industrial lots, the selection of the approach location may be delayed until parking lot configurations are determined. A caveat on title will be required to inform future owners of their responsibility to pay for the installation while adhering to design recommendations.

G.16.6 Residential approaches shall be 7.5 meters in width. Industrial approaches shall be 10.0 meters in width subject to review for specific vehicle movements anticipated with the development.

G.16.7 All approaches shall have the same structure as the adjoining roadway and be constructed up to the property line.

G.18 DRAINAGE AND CULVERTS

G.18.1 It is the Developers responsibility to construct a drainage system that will meet the flow requirements outlined in Section F for both rural and urban cross sections.

G.18.2 Ditches for rural roadways shall have backslopes no steeper than 2H:1V.

G.18.3 Ditch grades shall match the road grades wherever possible.

G.18.4 Ditch grades shall have a minimum grade of 0.5% wherever possible. Grades less than 0.5% shall be subject to review and approval by the Municipal Engineer.

G.18.5 Drainage channels shall be provided with ditch checks and/or other means of erosion control as necessary. All drainages shall be seeded. See Section H for seed mixture.

G.18.6 Ditches shall have a flat bottom, width as per applicable design standard.

G.18.7 Culvert sizing is the responsibility of the Developer's Engineer. Culverts and ditches shall be designed to accommodate a 1:25 year rainfall event. Ditches shall be allowed to back up during such an event to the height of the subgrade.

G.18.8 Culverts shall be new galvanized corrugated steel pipe with a minimum wall thickness of 1.6 mm or as required to meet the loading criteria.

G.18.9 Minimum pipe sizes for various uses are as follows:

Residential Approach Culvert 500 mm diameter

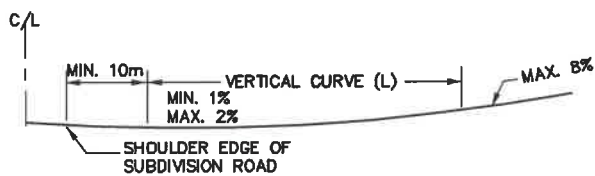
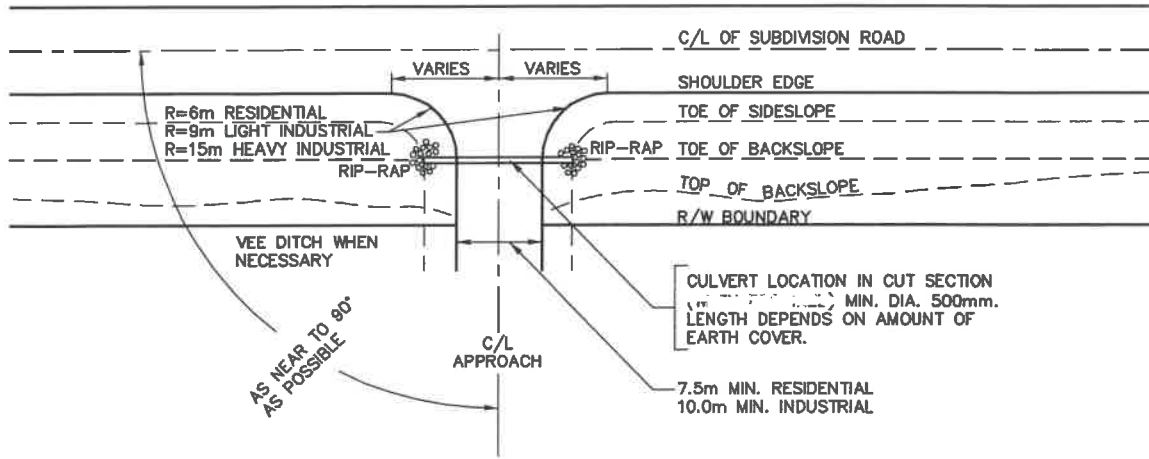
Industrial Approach Culvert 600 mm diameter

Roadway Centre line Culverts 600 mm diameter

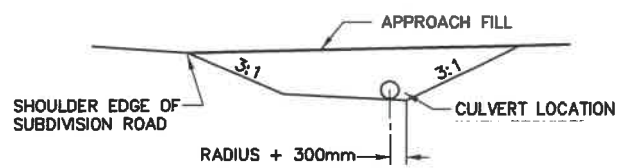
G.18.10 All culverts shall have appropriate end treatments depending on application. Inverts shall be extended to the toe of the side slope.

G.18.11 The culvert grade shall not be less than the ditch grades at the inlet and outlet.

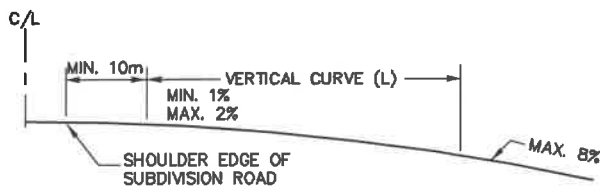
G.18.12 Culverts shall have a sufficient amount of cover to protect against damage from the expected traffic loading. Minimum cover shall be 300 mm or one-half the diameter of the culvert, whichever is greater as measured from the finished shoulder grade to the top of the culvert.



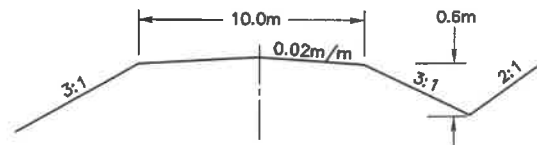
PROFILE - APPROACH IN CUT



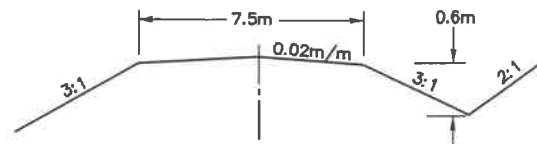
DETAIL OF DITCH & CULVERT LOCATION



PROFILE - APPROACH IN FILL



MINIMUM INDUSTRIAL APPROACH CROSS SECTION



MINIMUM RESIDENTIAL APPROACH CROSS SECTION

ALGEBRAIC DIFFERENCE IN GRADIENT (%)	MINIMUM LENGTH OF VERTICAL CURVE	
	LENGTH L (METRES)	
	CREST	SAG
1	5	7.5
2	12	15
3	18	23
4	25	30
5	30	38
6	37	46
7		46
8		46
9		46

NOTE
ALL ENTRANCES ARE TO BE FROM THE INTERNAL ROAD SYSTEM AND ARE TO PROVIDE REASONABLE ACCESS TO THE LOTS, EACH LOT IS TO HAVE A PRIVATE APPROACH.



General Municipal Servicing Standards

Rev.		RESIDENTIAL / INDUSTRIAL APPROACH STANDARD	
Rev.			
Rev.			
Rev.	File No.: ED60.36498	Design:	Approved:
Date: APRIL 2013	Drawn: JIM	Scale: NTS	Drawing: G-15